

# LFM

CLIMATE NEUTRAL BUILDING &  
CONSTRUCTION INDUSTRY MALMÖ

# 3





# SWEDENS FIRST LOCAL ROADMAP

## A CLIMATE NEUTRAL BUILDING & CONSTRUCTION INDUSTRY IN MALMÖ BY 2030



## **Sweden's first local roadmap**

The development of a local roadmap was initiated with a feasibility study conducted by Malmö city together, with among others, Sustainable Building in the South.

This process revealed potential roads forward as well initial ideas regarding strategies and objectives to reach climate neutrality within the building and construction industry in Malmö.



# Goals for Malmö by 2025

Everyone is to have reduced greenhouse emissions by 50% from now until 2025

Developers must have started at least one climate-neutral project

# Goals for Malmö by 2030

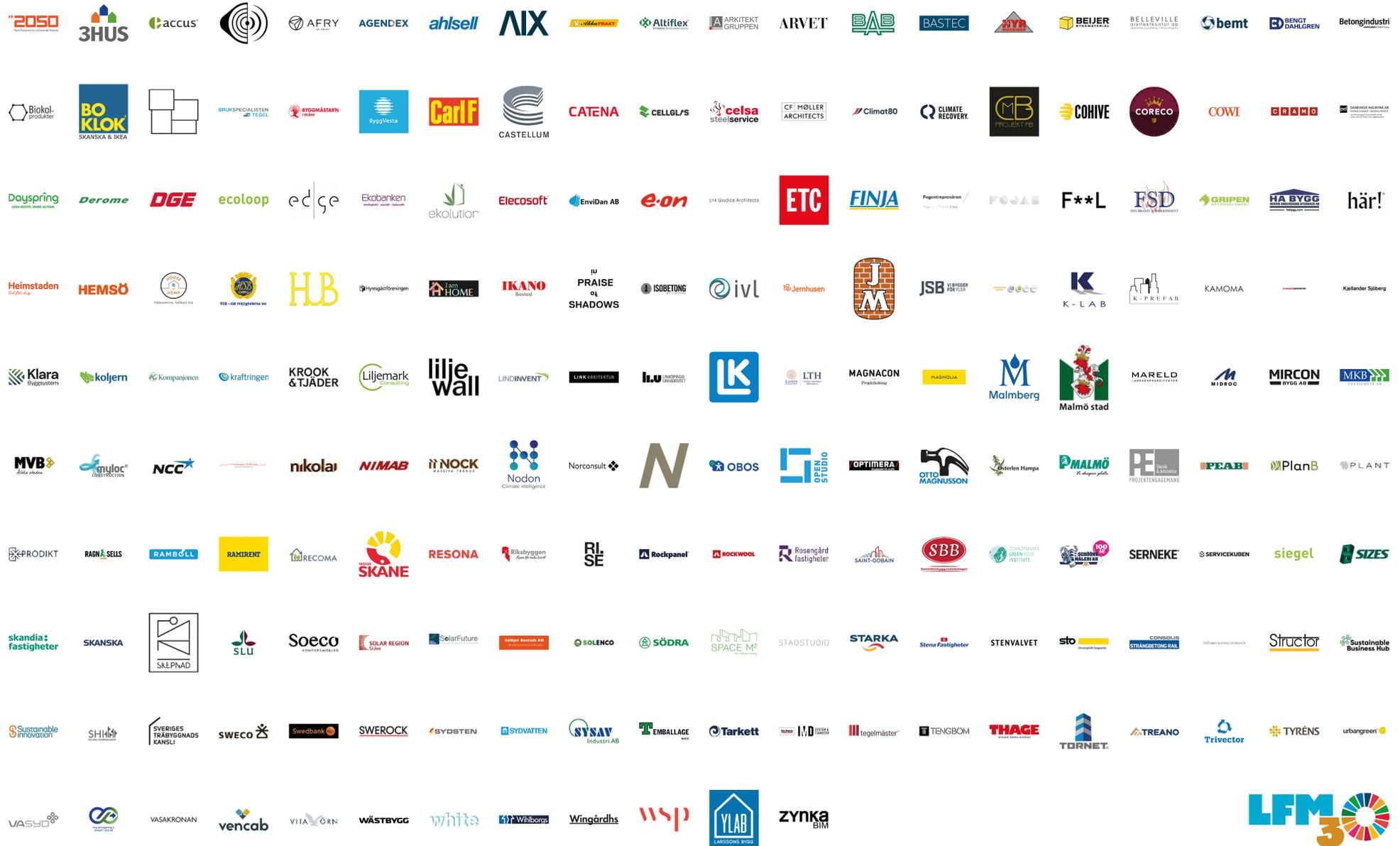
A climate neutral building & construction industry in Malmö with net zero emissions

# Goals for Malmö by 2035

A climate positive building & construction industry in Malmö

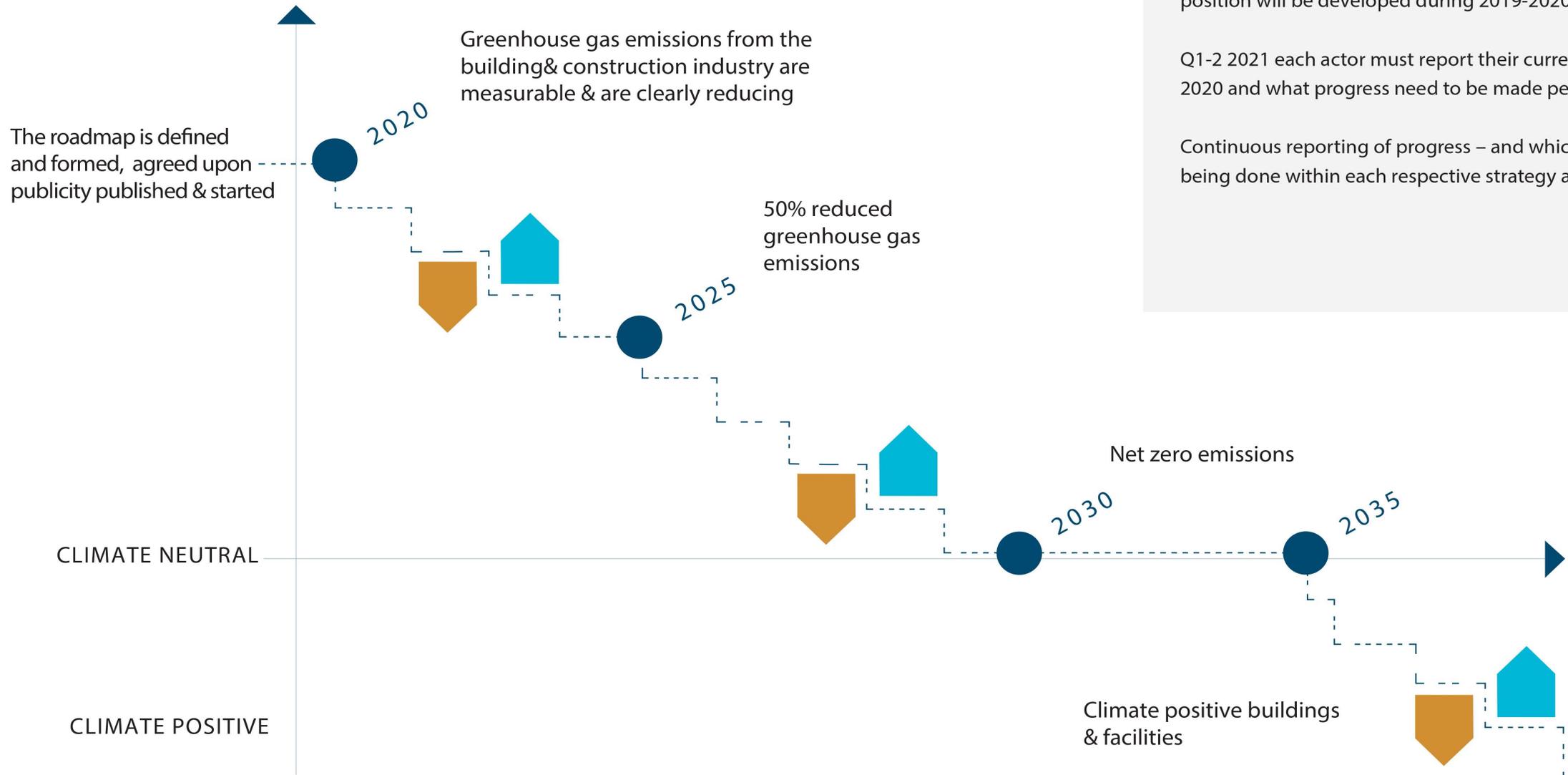
# DECEMBER 2021

# 190 AFFILIATES | 42 DEVELOPERS



# THE ROADMAP

NETTO EMISSIONS CO<sub>2</sub>e



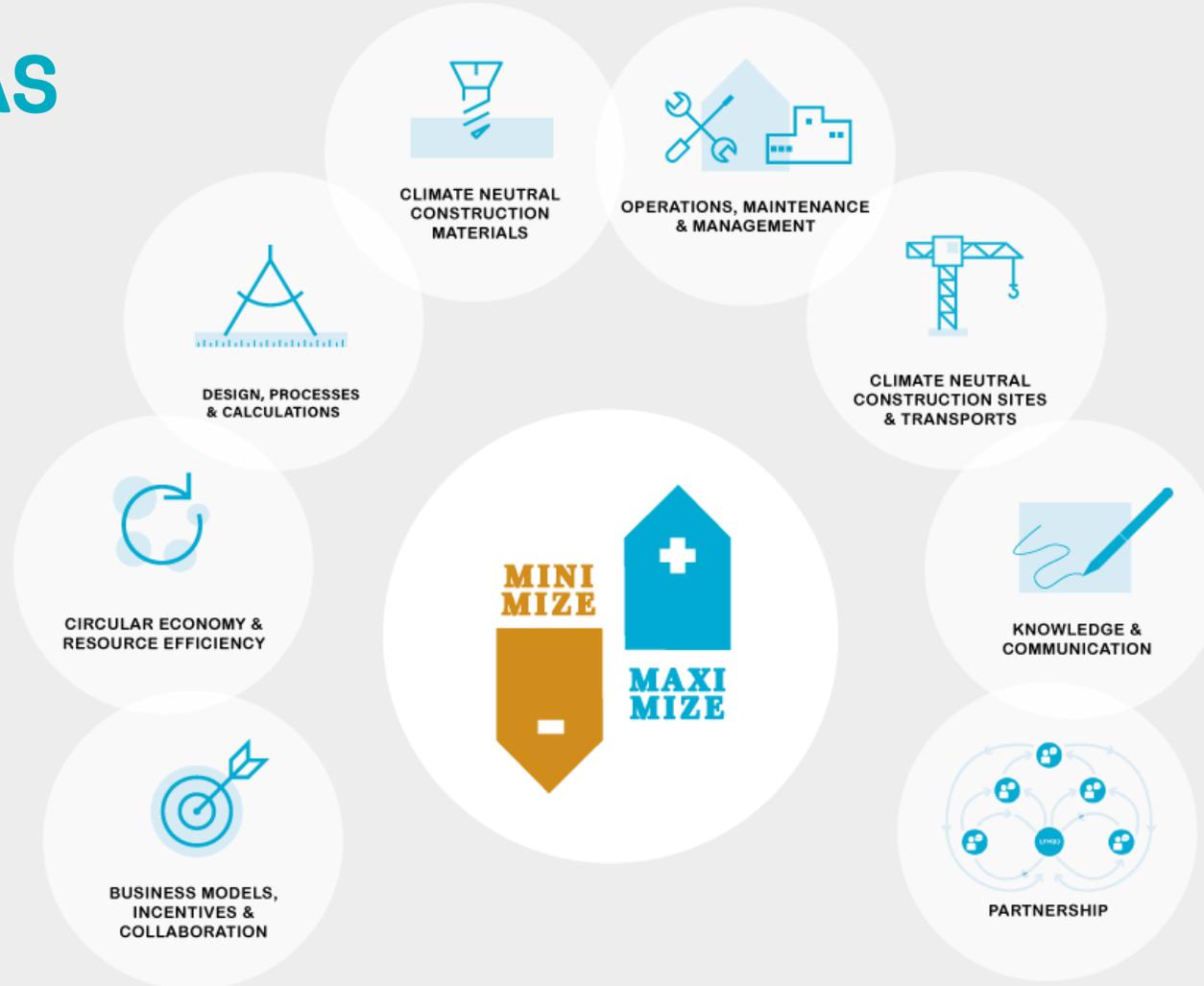
## MONITORING

Method and manual for joint measurement of current position will be developed during 2019-2020

Q1-2 2021 each actor must report their current position for 2020 and what progress need to be made per year

Continuous reporting of progress – and which activities are being done within each respective strategy and goal.

# EIGHT INTERDEPENDANT FOCUS AREAS

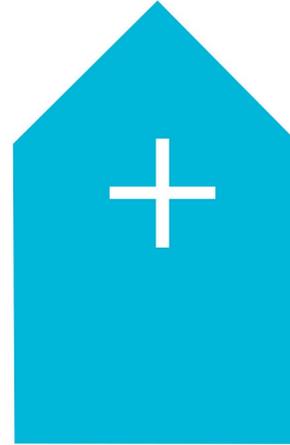


## FOCUS AREAS

CLIMATE NEUTRAL BUILDING & CONSTRUCTION SECTOR

SHORT-TERM THINKING  
ENERGY USAGE  
RISKS  
FOSSIL FUEL USAGE  
WASTE  
TRANSPORTS  
LINEAR PROCESSES

**MINI  
MIZE**



**MAXI  
MIZE**

CIRCULARITY  
GREEN BUSINESS MODELS  
RENEWABLES  
GREEN FINANCING  
CLIMATE CALCULATIONS  
INNOVATIONS  
RESOURCE USAGE  
FOSSIL FREE  
MEASURING & MONITORING  
COLLABORATION

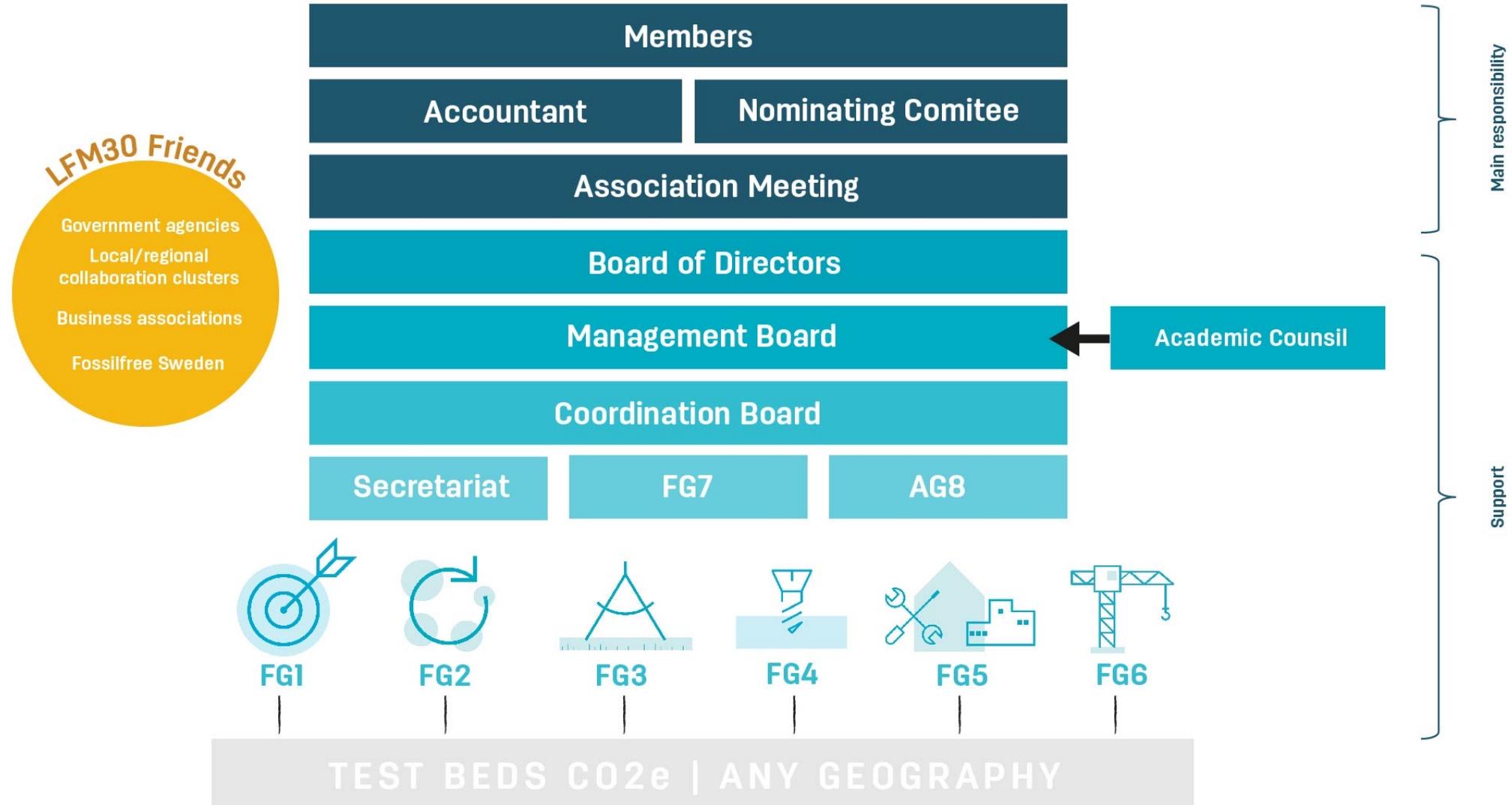
# CLIMATE NEUTRALITY

COLLECTIVE EFFORTS TO REDUCE CLIMATE IMPACT

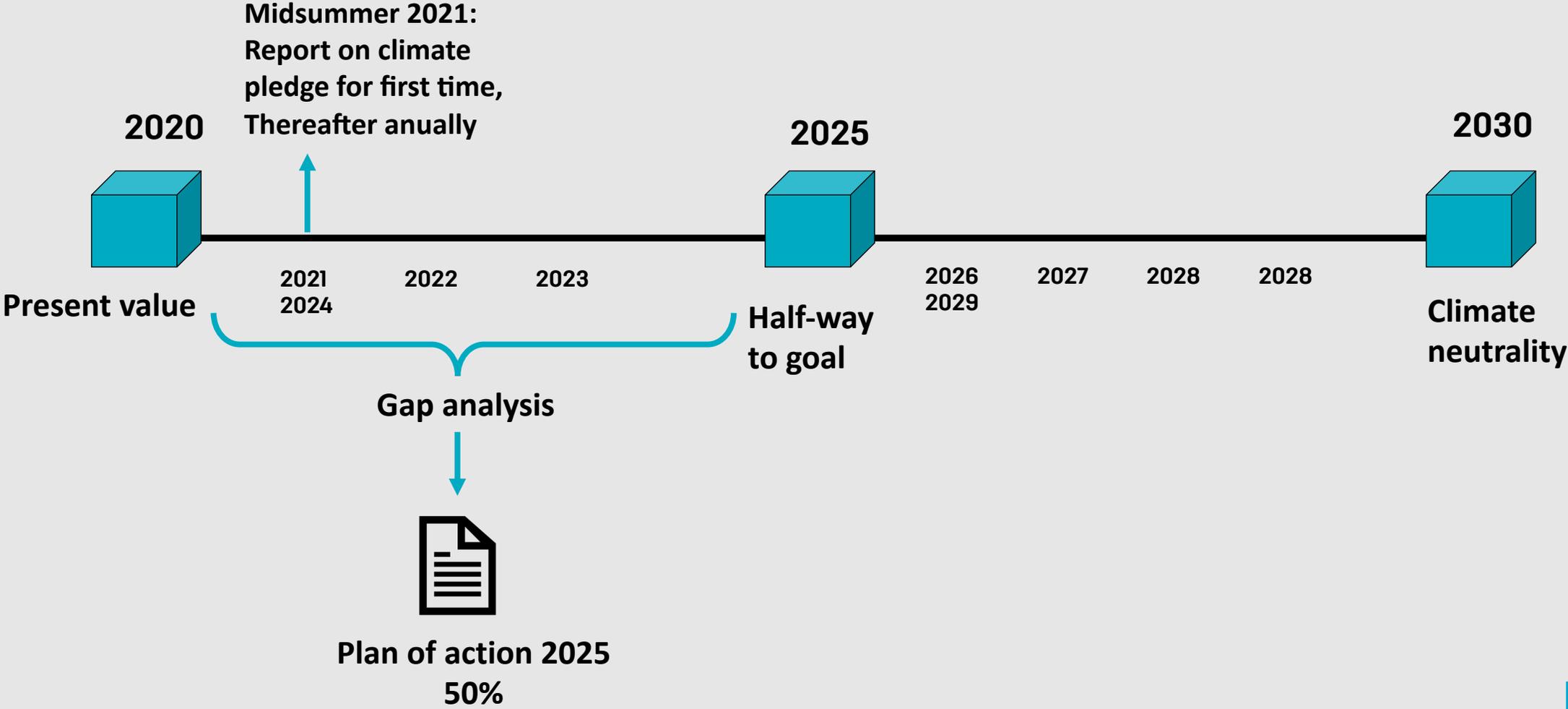


# HOW IS LFM30 SET UP?

# ORGANIZATIONAL STRUCTURE FOR THE ECONOMIC ASSOCIATION



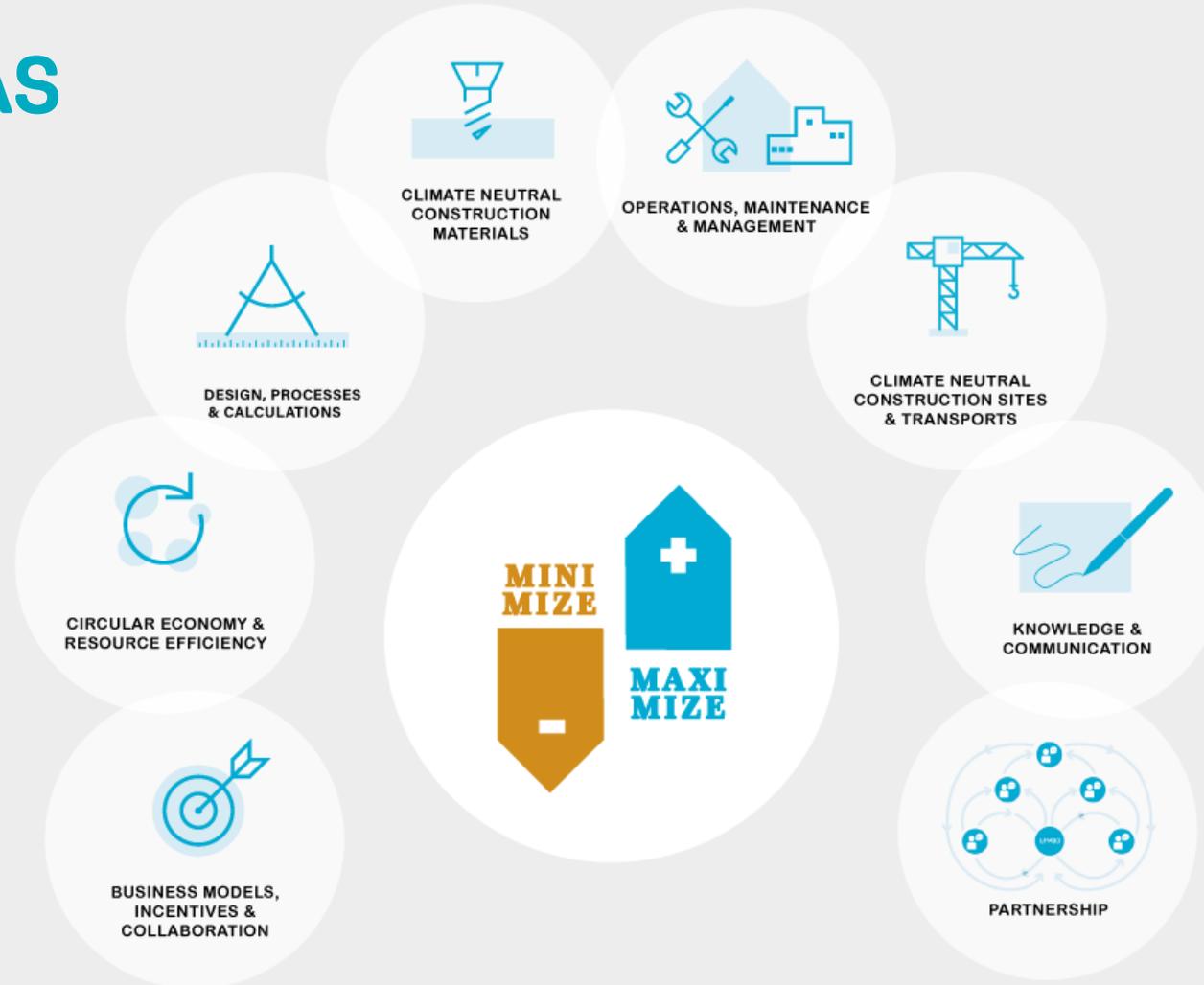
# LFM30 Affiliates continually report progress on climate pledge





# THE FOCUS GROUPS

# EIGHT INTERDEPENDANT FOCUS AREAS



## FOCUS AREAS

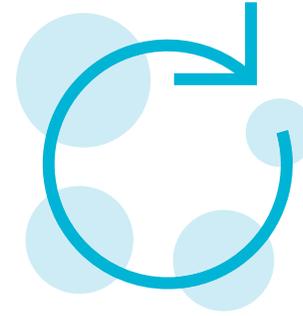
CLIMATE NEUTRAL BUILDING & CONSTRUCTION SECTOR

# BUSINESS MODELS, INCENTIVES & COLLABORATION



We adopt climate neutrality goals and obligations in our own organization's budget and operations process / business plan based on the objective to halve climate impact by 2025, achieve climate neutrality by 2030, and climate positivity by 2035 in all projects. We collaborate in a target-oriented way, learning from and including each other in the process so that we reach our goals as well as increase competencies and skills in the area of climate impact throughout all of the actors' value chains.

- We promote green financing solutions whose purpose it is to stimulate investments with a lesser climate impact.
- We develop our own skills and promote networking and collaboration with others.
- We report our results (actual emissions) openly every year and relay learnings to others through our work with the roadmap (for example through theoretical emissions in already planned building projects).
- As banks, we develop innovative and sustainable financing solutions, for example through initiatives such as Bankers for Climate. The rest of us request financing packages, such as green loans and lower capital requirements.
- As developers, when selling our own land or building rights, we strive towards making deals with the least climate impact.
- We call for Malmö city to provide similar conditions when selling land independent of which materials are chosen.
- We call for Malmö city to investigate and try different incentive structures in order to increase the total share of climate neutral construction.
- We work proactively and take responsibility for reducing our climate impact, based on our agency and the material suppliers' capacity to reach their climate neutrality objectives.
- We influence our supplier chain when it comes to requirements surrounding climate neutrality, competency, and follow-up, through formal agreements and other procurement decisions.
- As developers, we pledge to start at least one climate neutral building project by 2025.

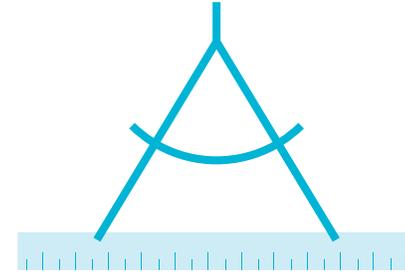


## CIRCULAR ECONOMY & RESOURCE EFFICIENCY

We value and choose our building materials from the chain of suppliers circularity and climate impact factors as well as function. We include spillage and waste in the climate calculation, successively reduce the total amount of waste as well as the share which is incinerated. We phase out the use of dangerous substances in our building materials and thereby promote the possibility of circularity.

- We strive towards 100% circular use of materials. Therefore we promote circular, resource-efficient as well as circular and bio-based building methods by gradually setting stricter requirements on circular building materials, sharing services, and reuse in our public procurements.
- We act to minimize spillage in every stage as well as the total amount of waste that is generated by setting requirements and following up on each project as well as its end usage, for example through incineration, reuse, or landfill burial.

# DESIGN, PROCESS & CLIMATE CALCULATION



We base our design, construction process, material decisions, and methods on a life cycle analysis. We optimize our use of resources in a circular and efficient manner.

Step by step, we digitalize the whole planning and building process, integrating the climate calculation from an early stage with the help of established tools like 3D-design and renderings. We use a shared and open model for our climate calculations (based on LCA-methods) which are quality-assured, standardized and comparable, for the purpose of follow-up and knowledge sharing. Of those of us who have the agency to do so, at an early stage and for every step in the building process, we take responsibility and influence our partners to minimize their climate impact in building and construction projects as well.

- We work together and develop operating procedures in close collaboration with relevant actors to create a readable and sustainable architecture with integrated energy- and ecosystems, mobility- and material-optimized solutions, as well as socially based solutions.
- We support and strive towards climate neutral incentives, initiatives, design, and innovations.
- We aim to work in accordance with established procurement requirements, method- and certification schemes, for the purpose of setting requirements, guiding, and reporting.
- As developers, we include climate calculations in our business and project decisions, in accordance with the National Board of Housing, Building, and Planning's guidelines for LCA. As other relevant actors, we strive to fulfill the developers' requirements as well as the project's ambitions. We all act to develop an LCA so that all possible measures as well as carbon storage in materials are included from hereon.
- We develop processes in close collaboration with architects, design engineers, material suppliers, and purchasers to create a more sustainable architecture with energy- and material-optimized solutions. The architecture emanates from the place's history and physical surroundings and has as its aim to strengthen the city's attraction and characteristics over time.
- As developers, we make sure to have conversations with the city early on in the planning process, reaching better climate results with the help of the zoning plan and building rights processes.
- We call for Malmö city to regulate zoning plans so that business conditions are the same regardless of chosen materials.

# CLIMATE NEUTRAL BUILDING MATERIALS



We climate optimize buildings through our choice of materials and design. We always prioritize renewable and circular building materials. In the procurement process, we successively set higher targets when it comes to share of material that is reused, recycled, and renewable, resource efficient as well as climate neutral. We require climate information, EPD (Environmental Product Declarations), for all building materials.

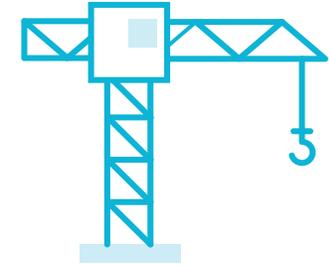
- We prioritize circular building materials in all building processes, with a focus on measures that have a large climate impact, such as the framework and foundation of a building. We also optimize materials so that they are as resource-efficient as possible, based on the material's different characteristics.
  - We work together to raise successively the standard within our industry when it comes to climate requirements for the material that is used in our value chains, with a special priority on material with a high climate impact.
- We collaborate to find processes where all important suppliers of building materials successively choose to favor sales, both via internet and brick-and-mortar, of building materials with a substantially lower climate impact than alternatives - all other things being equal.
- Our supply chain sets requirements on, and asks for validated information which shows the building materials' climate impact, also known as EPD.



# CLIMATE NEUTRAL OPERATIONS & MAINTENANCE

As property owners, we implement measures (such as energy efficiency measures) which minimize the property's climate impact. When rebuilding, we choose materials and methods based on climate calculations and resource efficiency, with the purpose of reaching climate neutrality in our property management activities. We always have the conscious client and tenant in mind when working with operations or property management. If possible, we only make additions or investments in a current building after consultation with the users of the place. We strive to implement local and fossil free energy production methods, preferably integrating solutions in the building itself.

- As developers, we pledge to implement measures (such as energy efficiency measures and smart grids) which reduce the building's net total emissions of greenhouse gases (B1, B6, B7), for the purpose of reaching climate neutrality in our property management by 2030 at the latest. All of us other actors pledge to reach the developers' and their projects' ambitions.
- As developers, we use climate calculations to make essential decisions surrounding maintenance, reparations, exchange, and rebuilding (B1-B5) for the purpose of promoting the right choices of building materials, construction systems, and methods to reach climate neutrality in our project management activities by 2030. All of us other actors aim to reach the developers' and their projects' ambitions.
- As developers, we promote systems, tools, skills, and follow-up management systems within property management which help to reduce climate impact when it comes to management and maintenance. All of us other actors strive to reach the developers' and their projects' ambitions.
- As developers, strive first for densification, renovations, additions, and rebuilding rather than tearing down already existing buildings/properties to build new ones instead. All of us other actors strive to reach the developers' and their projects' ambitions.
- As developers, we strive towards reaching 100% renewable energy for all heating and operations in the building. Locally produced renewable energy, for example solar cells, are prioritized. All of us other actors strive to reach the developers' and their projects' ambitions.
- When renting or leasing, we use green and sustainable contracts as our standard, together with the property owner and vice versa. The purpose being that it should be easy to live and work in a climate friendly way when maintaining our buildings.
- Smart grids need to be developed as a measure for reducing climate impact. All of us other actors strive to reach the developers' and their projects' ambitions.

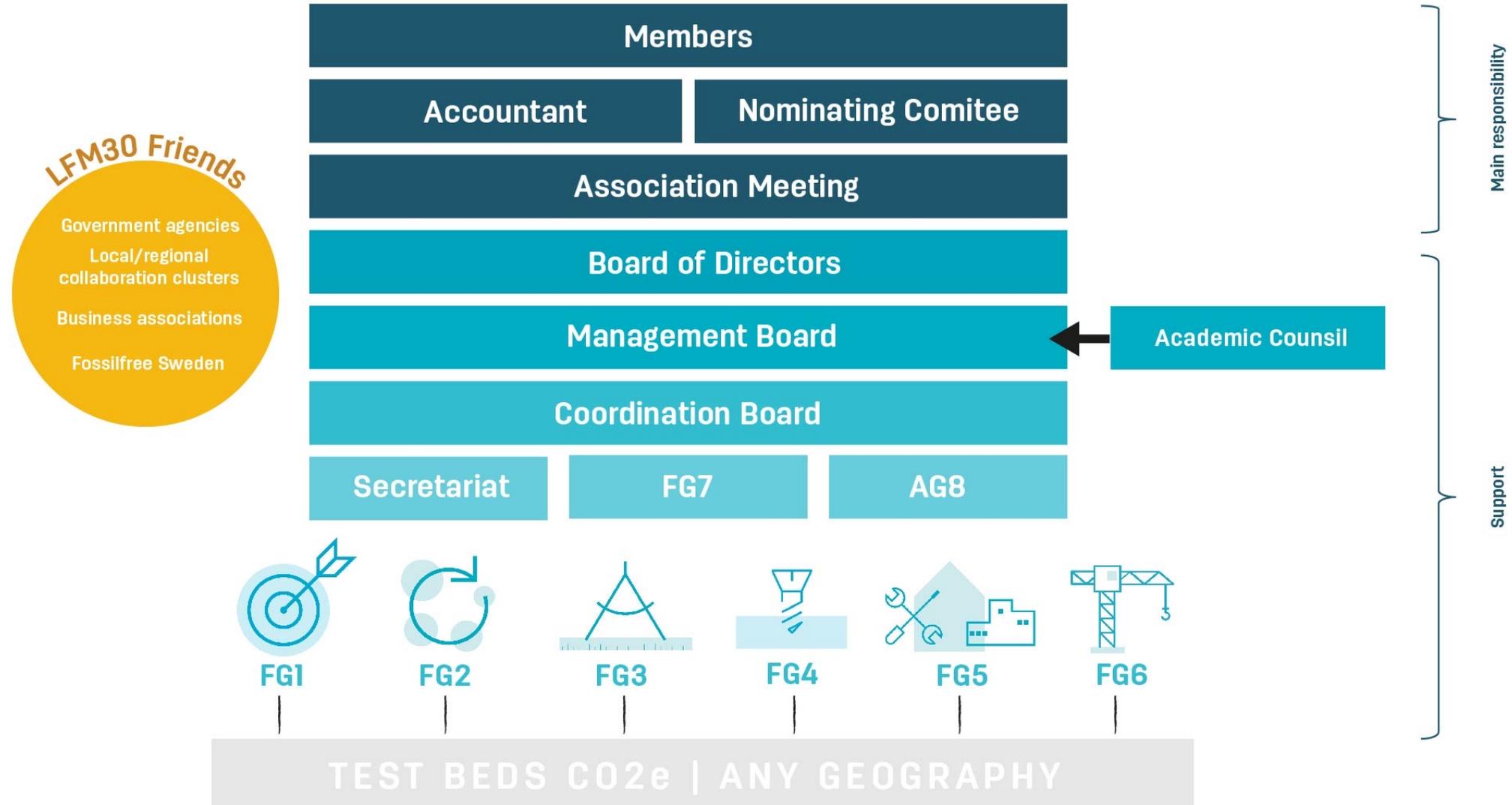


# CLIMATE NEUTRAL CONSTRUCTION SITES & TRANSPORTS

We reach climate neutrality within building and construction projects and optimize transportation methods to/from/on the building site based on climate calculations. This is achieved by using fewer machines run on fossil fuels, a high degree of industrialization, pooled deliveries as well as sharing services.

- Climate neutral energy production and energy efficiency in all of the building processes' stages by the year 2030.
- We work together in the industry to promote the development of processes which contribute to reducing the total need for transportation, through more efficient logistics systems, pooled deliveries, a high degree of industrialization as well as other mobility solutions.
- As developers, we set requirements for environmentally friendly electricity and no fossil fuel energy in new and existing buildings from 2025 onwards. From 2030 and onwards, our building sites are climate neutral (in the building process A1-A5, in the operations B1-B7 and in the final stages C1-C4). All of us other actors strive to reach the developers' and their projects' ambitions.
- Us energy suppliers will provide renewable or recycled energy and electricity by 2025 at the latest.

# ORGANIZATIONAL STRUCTURE FOR THE ECONOMIC ASSOCIATION



# Board of Directors



granitor|

*Rickard Sjöqvist (Chairman)*



**IKANO**  
Bostad

Maria Hagman



**S**  
**Stena Fastigheter**

*Jonas Larsson*



FOJAB

*Karin Fagerberg*



VASAKRONAN

*Anna Denell*



**Wihlborgs**

Joakim Persson



SVERIGES  
TRÄBYGGNADS  
KANSLI

Susanne Rudenstam



granitor|

Malin Kylefors

# Board of Coordination



*Andreas Holmgren  
(Chairman)*



*Thomas Sundén  
(Vice Chairman)*



*Josephine Nellerup*



*Embla Winge*



*Rickard Sjöqvist*



*Staffan Fredlund*



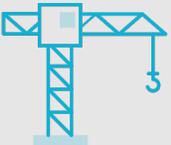
*Torgny Schill*



*Jeanette Nilsson*

## Group leader/Chairman

## Management group leader

	<b>Serneke</b> <i>Jonas Håkansson</i>	<b>RISE</b> <i>Thomas Nord</i>
	<b>Malmö stad</b> <i>Anna Bernstad</i>	<b>LTH</b> <i>Ulla Jansson, Stefan Olander</i>
	<b>Treano</b> <i>Andreas Holmgren</i>	<b>Vacant</b> –
	<b>Fojob</b> <i>Anders Eriksson</i>	<b>LU, LTH</b> <i>Paulien Strandberg</i>
	<b>Liljewalls arkitekter</b> <i>Madeleine Nobis</i>	<b>Internationella Miljöinstitutet</b> <i>Åke Thidell</i>
	<b>Beijer</b> <i>Peter Tilliander</i>	<b>RISE</b> <i>Stefan Elfborg</i>
	<b>LFM30</b> <i>Jennifer Cronborn</i>	



# ACCOMPLISHMENTS

# Accomplishment

## 1.

### **Method for Climate Budget:**

- During 2020/2021, LFM30 has developed a climate calculation methodology that contains five steps to achieve climate neutrality.
- All our actors submit annual climate reports, both at company and project level.
- According to data from our the climate report 2021 (spring 2022) a majority of our actors are in line with the climate promises (50% reduction by 2025).

# Accomplishment

## 2.

### **Climate neutral projects:**

- All 46 developers have pledged to start the construction of a climate-neutral project by 2025, voluntarily for the other actors.

### **According to the climate report 2021 (spring 2022):**

- 18 developers ongoing climate-neutral construction projects (some have started construction, others are still in the planning process)
- The majority are apartment buildings, but there are also some single-family houses and premises

# Accomplishment

## 3.

**Based on the climate report  
2021 (spring 2022):**

- Developers estimated a 30% reduction by 2025
- 65% of our members calculate their climate impact
- 55% relates to LFM30 target limit values
- 40% run projects that fall below the target limit values



Thank you!